

3. Placement. The wheel stop or continuous curb shall be located a minimum of 4 feet from any structures, buildings, walls, or plant material, excluding groundcover, to prevent a vehicle from driving onto the landscape area or hitting any structure or plant material at the edge of the parking area.
- G. Parking in Front Setbacks. Parking shall not be permitted within the required front setback of any lot, except for parking on the paved driveways of single-family and duplex lots, and except for parking within the additional parking spaces provided under §6.16.1.E.2.a.
- H. Shopping Cart Storage Areas. In addition to required auto parking spaces, each tenant or owner of a structure that provides shopping carts for the use of its customers shall incorporate adequate shopping cart storage areas in the parking lot.

### 6.16.2 Off-Street Loading Requirements

- A. General Standards.  
All required off-street loading space shall be designed, constructed, and maintained in accordance with the standards and requirements set forth below.
1. Loading spaces shall be located on the same lot as the building or structure to which they are accessory.
  2. No loading space shall be located in any front setback area, nor shall it permit any vehicle to extend into any front setback area or across any lot line of a more restrictive district while being loaded or unloaded.
  3. Loading spaces shall be designed and arranged to provide access to a street or alley in a manner that will create the least possible interference with traffic movement and parking lot circulation.
  4. Loading spaces shall not conflict with or overlap with any required off-street parking area, unless it will be used only during hours when the primary structure is not open for business.
  5. All required off-street loading spaces and access drives shall be improved with an asphaltic, concrete or equivalent surface and shall be graded and drained in order to dispose of all surface water accumulation within the parking area. All alleys shall meet City design specifications.

## 6.17 SIGNS

### 6.17.1 Intent

The intent of these regulations is to coordinate the type, placement and physical dimensions of signs within the Standard Zoning Districts, New Communities Sub-Districts, Clear Creek Sub-Districts, and PUD Zoning Districts; to recognize the commercial communication requirements of all sectors of the business community; to encourage the innovative use of design; to promote both

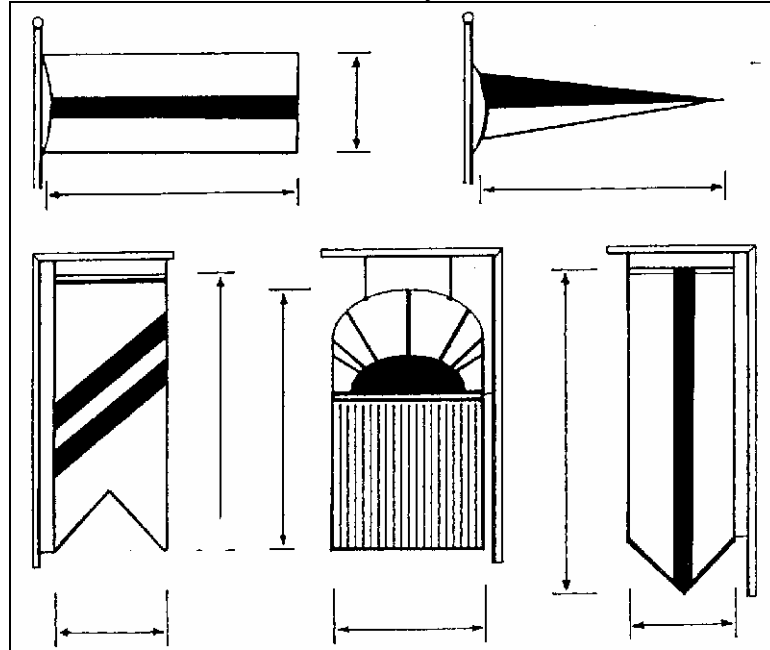
renovation and proper maintenance; to allow for special circumstances; and to guarantee equal treatment through accurate record keeping and uniform enforcement. It is further the intent of this section to encourage signs that are attractive and compatible with the adjacent property, that will preserve and enhance property values within the community and provide for the public's safety, that will preserve the environmental character of the community; that will prevent overload of visual stimuli, and that will promote safe visual perception from a moving vehicle.

#### **6.17.2 Signs Allowed Without a Permit**

Generally, the following types of signs are allowed in all Standard Zoning Districts, New Communities Subdistricts, Clear Creek Subdistricts, and PUD Zone Districts as long as they meet the requirements of this section of the Code, and do not require the issuance of a building permit. All signs not listed in this section require a permit pursuant to §3.24 (Sign Permits).

- A. Official Flags. Up to three official flags of any government, governmental agency, or non-profit agency, provided that the pole on which such flag is mounted does not exceed 50 feet in height, the size of the flag does not exceed 300 square feet, and the location of the flagpole meets the setback requirements of §6.2.3.
- B. Other Flags. One flag in addition to permitted official flags, provided that the pole on which such flag is mounted does not exceed 25 feet in height, the size of the flag does not exceed 50 sq. ft., and the location of the flagpole meets the setback requirements of § 6.2.3.
- C. Large Special Event Banners. Up to two large special event banners may be suspended from the sides of a building housing a permitted Community Services use (events center, assembly hall, or cultural facility), provided that:
  - 1. Each such banner shall relate to a public event;
  - 2. Each such banner shall be removed no later than one week after the event to which it relates; and
  - 3. The maximum size of any such banner shall be 200 sq. ft.
- D. Small Special Event and Other Small Special Banners. In the Olde Town Arvada area (B-3 Zoning District), in the area surrounding the Arvada Center (PUD-BP Zoning District), in connection with ongoing seasonal public events such as farmers markets, and in connection with established city festivals such as the annual Arvada Harvest Festival, any number of small banners may be suspended from light poles, utility poles, or building mounted fixtures, provided that:
  - 1. Each such banner shall relate to a public event or shall identify a specific neighborhood located within the City (e.g., Olde Town Arvada);
  - 2. When related to one-time or special events, each such banner shall be removed no later than one week after the event to which it relates ends;

3. No more than two such banners may be suspended from any one pole or fixture; and
4. The maximum size of any such banner shall be 6 square feet.



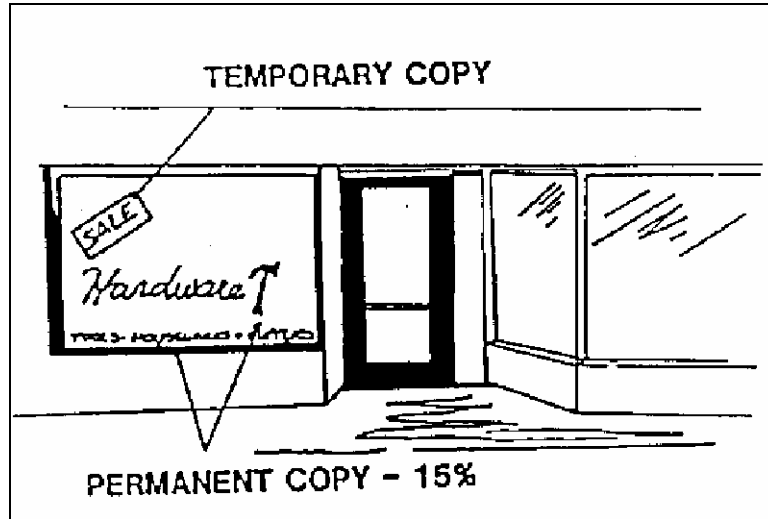
**Measurement of Banner Sign Area**

- E. Public Signs. Signs erected by any governmental agency including, but not limited to Federal, State, County and City Governments, School and Recreation Districts, but not including private water and sanitary districts.
- F. Public Warning Signs. Any number of protective, warning, or traffic signs erected by a governmental agency.
- G. Interior Signs. Any number of signs that are located within any structure and are not visible from adjacent properties or from the public streets.
- H. Historical Signs. Any number of historical commemorative plaques, memorials, or tables that are (1) built into a building or mounted flat against the wall of a building, that contain the name of that building, the date of erection and use of the building, or (2) erected in any particular locations designated by the City as having historical significance.
- I. Real Estate Signs. One freestanding or wall mounted sign per street frontage that advertises the sale, rental or lease of the property on which the sign is located. For single-family and duplex residential uses, signs shall not be larger than 5 square feet in total area. For all other uses, signs shall not exceed 20 square feet in total area. Visibility requirements must be met as described in §6.8.1.E (Intersection and Driveway Visibility).
- J. Address and Building Identification Signs. Signs, whether illuminated or not, that include a letter, number, word or address used to identify a particular parcel of land, individual building, or buildings located in a business, industrial or residential building complex, or center, for

purposes of information and not for advertising, and including an individual house address sign, provided that such signs:

1. Are attached to the building identified;
2. Are limited to two per building; and
3. Are not more than five square feet in total area for each sign.

K. Permanent Window Signs. Permanent window signs may occupy up to 15 percent of the total window area of each establishment in the P-1, B-1, B-2, B-3, B-4, CC-A, CC-C, CC-E, and PUD-BP zoning districts, and of each business land use in the CC-D and PUD-BPR zoning districts.



L. Temporary Window Signs. Temporary window signs may occupy unlimited total window area in the B-1, B-2, B-3, B-4, and PUD-BP zoning districts, and of each business land use in the PUD-BPR zoning district.

M. Temporary Banners. The following types of temporary banners may be erected in any zoning district, subject to the following conditions:

1. No more than one temporary banner is allowed per building;
2. Each banner shall be mounted on a wall of the building in which the business, organization, or individual is located to which the banner refers;
3. Each banner shall have a maximum area of 40 sq. ft.; and
4. No banner listed as a Prohibited Sign in §6.17.9 shall be permitted, even on a temporary basis.

N. Temporary Freestanding Sidewalk Signs. In the Olde Town Arvada area (B-3 Zoning District), temporary free-standing signs shall be permitted to be placed on the sidewalks in front of commercial and retail uses, provided that:

1. The maximum of each side of each such sign shall be 6 sq. ft.;

2. No such freestanding sidewalk sign shall be placed within 25 feet of another temporary freestanding sidewalk sign;
3. Each such sign shall be maintained in good condition and repair, so that it does not create a hazard to pedestrians or their clothing or luggage; and
4. No such sign shall be anchored to, or cause damage to, the sidewalk surface or other elements of the public-right-of-way.

Each such sign may be placed on the sidewalk only during the business hours of the business to which it relates, shall not impede pedestrian movement, and must be removed immediately upon the request of any City official who determines that it is in violation of this Code.

- O. Election/Campaign Signs. Any number of election/campaign signs that are located on private property and provided that the size and location of those signs do not create a hazard for automobile or pedestrian traffic or a public nuisance.
- P. Signs on Public Sports Fields. Signs intended to be viewed internally from public sports fields which are approved by the Community Development Director.

### 6.17.3 Sign Schedule

The following types of sign are allowed in the zoning districts indicated in the following table. Each sign shall also comply with the exceptions and additional criteria listed in §6.17.4 (Exceptions and Additional Criteria) and with the structural requirements set forth in the applicable City of Arvada building code.

Sign Schedule Sign Type	No.	Size & Conditions
<b>A-1 (Agricultural) and C-1 (Conservation) Zoning Districts, and NC-AG (Agricultural) and NC-OS (Open Space) Subdistricts, and Agricultural, Conservation, and Open Spaces in PUD Zoning Districts (unless otherwise stated in PUD)</b>		
Bed & Breakfast Sign	1	Wall mounted sign parallel or perpendicular to the building wall or freestanding sign with min. 10 ft. setback; max. 2 sq. ft.; max. height 8 ft.
Conditional Use Sign	1	Wall mounted sign or freestanding sign with min 10 ft. setback; max. area 32 sq. ft., max. height 6 ft., lighting permitted.
Home Occupation Sign	1	Wall sign; max. area 1 sq. ft., max. height 8 ft., no lighting.
<b>R-E, R-L, R-SL, R-I, Zoning Districts, and NC-RA, NC-RB, NC-RC, and CC-B Subdistricts Single Family Residential Uses in CC-D and PUD Zoning Districts</b>		
Bed & Breakfast Sign	1	Wall mounted sign parallel or perpendicular to the building wall or freestanding sign with min. 10 ft. setback; max. 2 sq. ft.; max. height 8 ft.
Church Sign	1	Freestanding sign with min. 10 ft. setback; may have changeable copy in references to services only; max. area 32 sq. ft.; max. height. 6 ft.; lighting permitted.

<b>Sign Schedule Sign Type</b>	<b>No.</b>	<b>Size &amp; Conditions</b>
	1	Wall sign; max area may be 30 sq. ft. if frontage is less than 30 lineal feet. 1 sq. ft. per lineal foot of building frontage (not to exceed 100 sq. ft.); lighting permitted.
Conditional Use Sign	1	Wall mounted sign or freestanding sign with min 10 ft. setback; max. area 32 sq. ft., max. height 6 ft., lighting permitted.
Home Occupation Sign	1	Wall sign; max. area 1 sq. ft., max. height 8 ft., no lighting.
<b>R-MD, R-M Zoning Districts and Multi-Family Uses in PUD Zoning Districts</b>		
Bed & Breakfast Sign	1	Wall mounted sign parallel or perpendicular to the building wall or freestanding sign with min. 10 ft. setback; max. 2 sq. ft.; max. height 8 ft.
Church Sign	1	Freestanding sign with min. 10 ft. setback; may have changeable copy in references to services only; max. area 32 sq. ft.; max. height. 6 ft.; lighting permitted.
	1	Wall sign; max. area if frontage is less than 30 ft. then a 30 sq. ft. sign is allowed. 1 sq. ft. per lineal foot of applicable building frontage (not to exceed 100 sq. ft.); lighting permitted.
Conditional Use Sign	1	Wall mounted sign or freestanding sign with min 10 ft. setback; max. area 32 sq. ft., max. height 6 ft., lighting permitted.
Informational Sign relating to a principal permitted use:	2	Freestanding sign with min. 10 ft. setback or wall sign; max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Home Occupation Sign	1	Wall sign; max. area 1 sq. ft., max. height 8 ft., no lighting.
Identification Sign for rest homes, hospitals and multi-family housing complexes:	1	Freestanding sign with min. 25 ft. setback; max area 40 sq. ft.; max. height 8 ft.; lighting permitted; Or Wall sign; max. area 40 sq. ft.; max height 25 ft.; lighting permitted.
<b>P-1 Zoning District, and NC-C/OF and CC-C Subdistricts, and Office Uses in PUD Zoning Districts</b>		
Office	1	Building Identification Wall Sign for each Frontage: max. area 60 sq. ft.; max. height 25 ft.; lighting permitted; Or Building Identification Wall Sign for each frontage for buildings greater than 50,000 sq. ft. in gross floor area: max area 80 sq. ft.; max. height 25 ft.; lighting permitted; Or Building Identification Wall Sign for each frontage for buildings over 35 ft. in height; max area 100 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public; Or Freestanding Tenant Panel Sign located within 5 ft. of building (or wall sign) listing tenants located within a building; max area 3 sq. ft. per tenant (up to a max. of 30 sq. ft.); max. height 10 ft.; lighting permitted.

Sign Schedule Sign Type	No.	Size & Conditions
Office (cont'd)	1	Additional Sign if Building is Not Located in an Office Center Which can be either: Freestanding sign with min. setback of 10 ft.; max. area 32 sq. ft.; max. height 6 ft., lighting permitted; Or (if lot is 4 acres or less) Freestanding sign with min setback of 25 ft.; max. area 60 sq. ft.; max. height 12 ft., lighting permitted; Or (if lot is more than 4 acres) Freestanding sign with min setback of 25 ft.; max. area 100 sq. ft.; max. height 25 ft.; lighting permitted.
	1	Additional Sign if Building is Located in an Office Center Freestanding Establishment Identification Sign located within 15 feet of building; max. area 32 sq. ft.; max. height 6 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
All Office Centers	1	Freestanding Identification Sign for rest homes, hospitals and multi-family housing complexes, with min. 25 ft. setback (or wall sign); max area 40 sq. ft.; max. height 6 ft. (25 feet for wall sign); lighting permitted.
Office Center 0-2.0 Acres	1	Freestanding sign with min. setback 10 ft.; max area 32 sq. ft.; max. height 6 ft.; lighting permitted.
	2	Freestanding Informational Sign with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Office Center Between 2 and 8.0 Acres	2	Freestanding signs with min. 10 ft. setbacks, one per street frontage; max. area 60 sq. ft. per sign; max. height 12 ft., lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Office Center Between 8 and 18.0 Acres	1	Freestanding Center Directory Sign with min. 25 ft. setback (or wall sign); max. area 20 sq. ft.; max. height 8 ft.; lighting permitted.
	2	Freestanding signs with min. 25 ft. setbacks, one per street frontage; max. area 100 sq. ft. per sign; max. height 15 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Office Center Between 18 and 30.0 Acres	1	Freestanding Center Directory Sign with min. 25 ft. setback (or wall sign); max. area 20 sq. ft.; max. height 8 ft.; lighting permitted.
	1	Freestanding sign per street frontage, with min. 25 ft. setbacks, max. area 100 sq. ft. per sign; max. height 25 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Regional Center Larger than 30 Acres		Same requirements as for Office Centers between 18 and 30.0 acres; OR Comprehensive Sign Program with maximum signage area of 150 sq. ft. per sign approved pursuant to §3.24 (Sign Permits).

Sign Schedule Sign Type	No.	Size & Conditions
<b>B-3 (Central Business) Zoning District</b>		
Wall Sign	1	Wall sign per building frontage, except where the rear of the building would face onto or be adjacent to a residential zoning district boundary; max. area 1 sq. ft. per lineal foot of applicable building frontage (not to exceed 100 sq. ft.); max. height 25 ft.; lighting permitted. may be 30 sq. ft. if frontage is less than 30 lineal feet. Or, Projecting wall sign (in lieu of one wall sign), which may extend up to 5 ft. over a public right-of-way, but may not extend over a public street; max. area 25 sq. ft.; max. height 25 ft.; lighting permitted.
Under Canopy Sign	1	Projecting sign located perpendicular to the front of the building; max. area 4 sq. ft.; max. height 12 ft.; lighting permitted.
Freestanding Sign	1	Additional Sign if Building is Set Back at Least 10 Ft. From the Property Line and is Not Located on a Corner. This sign may be a freestanding sign with a min. 10 ft setback; max. area 32 sq. ft.; max. height 6 ft.; lighting permitted.
Interior Store Sign	1	Additional Sign for Commercial Building or Shopping Mall containing Interior Stores Without External Entrances Exterior wall sign or cluster of wall signs at one location on the exterior of the building; max. area 6 sq. ft. per interior store.
<b>CC-D Zoning District</b>		
All Non-Residential Uses Prior to 100% Occupancy of District by Non-Residential Uses	1	Wall sign on a signable wall only; max. area 6 sq. ft; max. height 10 ft.; lighting from a concealed source permitted; backlighting and neon lighting prohibited; Or Projecting wall sign, which may extend up to 5 ft. over a public right-of-way, but may not extend over a public street; min. 8 ft. clearance from ground to bottom edge of sign when located over a public or private sidewalk; max. area 6 sq. ft.; max. height 12 ft.; lighting from a concealed source permitted; backlighting and neon lighting prohibited. Total sign area for all permitted signs shall not exceed 6 sq. ft.
All Non-Residential Uses After District has Transitioned to 100% Non-Residential Uses		The sign standards applicable to Sub-District CC-A shall apply.

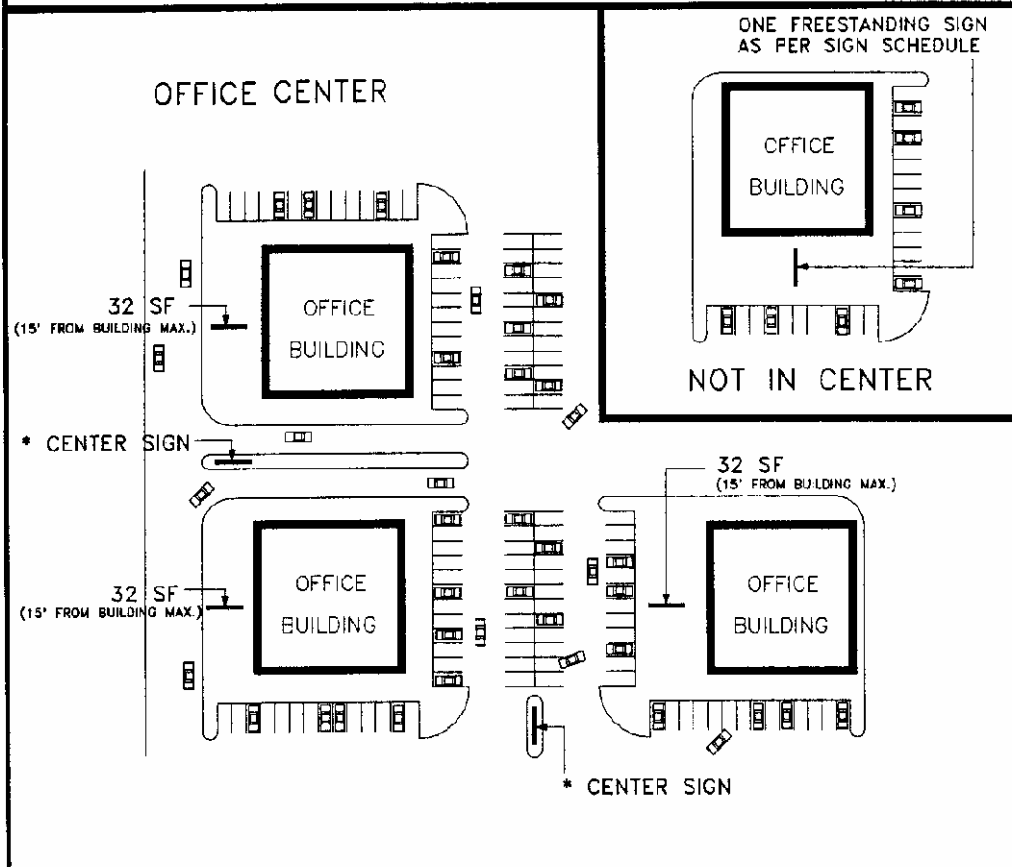


Sign Schedule Sign Type	No.	Size & Conditions
<b>B-1, B-2, B-4, I-1, I-2, Zoning Districts, and NC-MU-A, NC-MU-B, NC-MU-C, NC-SU, CC-A, CC-E Subdistricts, and Non-Residential and Non-Office Uses Located in CC-D and PUD Zoning Districts</b>		
Commercial Building Not Located in a Commercial Center Or Commercial Building That is the Only Building in a Commercial Center	1	<p>Freestanding sign with min. setback of 10 ft.; max. area 32 sq. ft.; max. height 6 ft., lighting permitted; Or (if lot is 4.0 acres or less) Freestanding sign with min setback of 25 ft.; max. area 60 sq. ft.; max. height 12 ft., lighting permitted; Or (if lot is more than 4 acres) Freestanding sign with min setback of 25 ft.; max. area 100 sq. ft.; max. height 25 ft.; lighting permitted; Or (if lot is more than 4 acres) Freestanding sign located between 25 and 100 ft. of an interstate highway right-of-way, for a single user occupying more than 300,000 sq. ft. of gross floor area in a building located within 250 feet of an interstate highway; max. area 300 sq. ft.; max. height 45 ft.; lighting permitted.</p>
	1	<p>Wall sign per building frontage, except where the rear of the building would face onto or be adjacent to a residential zoning district boundary; max. area if frontage is less than 30 sq. ft. then a 30 sq. ft. sign is allowed. 1 sq. ft. per lineal foot of applicable building frontage (not to exceed 100 sq. ft.); max. height 25 ft.; lighting permitted; Or Projecting wall sign (in lieu of one wall sign), which may extend up to 5 ft. over a public right-of-way, but may not extend over a public street; max. area 25 sq. ft.; max. height 25 ft.; lighting permitted.</p>
	1	<p>Establishment identification wall sign per street frontage (maximum of 2) for establishments occupying more than 60,000 sq. ft. of gross leasable area; max. area 150 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public; Or Building Identification wall sign for buildings over 35 ft. in height; max area 100 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public.</p>
	1	<p>Under canopy projecting sign located perpendicular to the front of the building; max. area 4 sq. ft.; max. height 12 ft.; lighting permitted.</p>
	3	<p>Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.</p>
	<p>As an alternative to the wall signs and Informational Signs otherwise available to them, a single user of a building containing at least 150,000 sq. ft. of gross leasable area may apply for approval of a Comprehensive Sign Program with maximum signage area of 150 sq. ft. pursuant to §3.24 (Sign Permits).</p>	

Sign Schedule Sign Type	No.	Size & Conditions
Commercial Building Located in a Commercial Center (Where the Commercial Center Contains Other Establishments)	1	Wall sign per building frontage, except where the rear of the building would face onto or be adjacent to a residential zoning district boundary; 1 sq. ft. per lineal foot of applicable building frontage (not to exceed 100 sq. ft.); max. height 25 ft.; lighting permitted; if frontage is less than 30 sq. ft. then a 30 sq. ft. sign is allowed; Or Projecting wall sign (in lieu of one wall sign), which may extend up to 5 ft. over a public right-of-way, but may not extend over a public street; max. area 25 sq. ft.; max. height 25 ft.; lighting permitted; Or Building Identification wall sign for buildings over 35 ft. in height; max area 100 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public.
	1	Establishment identification wall sign for per street frontage (maximum of 2) for establishments occupying more than 60,000 sq. ft. of gross leasable area; max. area 150 sq. ft.; max. height 1 ft. below roofline; lighting permitted.
	1	Under canopy projecting sign located perpendicular to the front of the building; max. area 4 sq. ft.; max. height 12 ft.; lighting permitted.
Commercial Building or Shopping Mall Containing Interior Establishments Without External Entrances	1	Exterior wall sign per interior establishment; max. area 6 sq. ft. per 100 sq. ft. of gross floor area in the interior establishment (maximum 100 sq. ft.).
Office Building Not Located in a Commercial Center Or Office Building That is the Only Office Building in a Commercial Center	1	Freestanding Establishment Identification Sign located within 15 feet of building; max. area 32 sq. ft.; max. height 6 ft.; lighting permitted.
	1	Building Identification Wall Sign; max. area 40 sq. ft.; max. height 25 ft.; lighting permitted; Or Building Identification Wall Sign for buildings greater than 50,000 sq. ft. in gross floor area: max. area 80 sq. ft.; max height 25 ft.; lighting permitted; Or Building Identification Wall Sign for buildings over 35 ft. in height; max area 100 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public; Or Freestanding Tenant Panel Sign listing tenants located within a building; max area 3 sq. ft. per tenant (up to a max. of 30 sq. ft.); max. setback 10 ft.; max. height 10 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Industrial Building Not Located in a Center	1	Freestanding Establishment Identification Sign setback 10 feet; max. area 32 sq. ft.; max. height 6 ft.; lighting permitted.

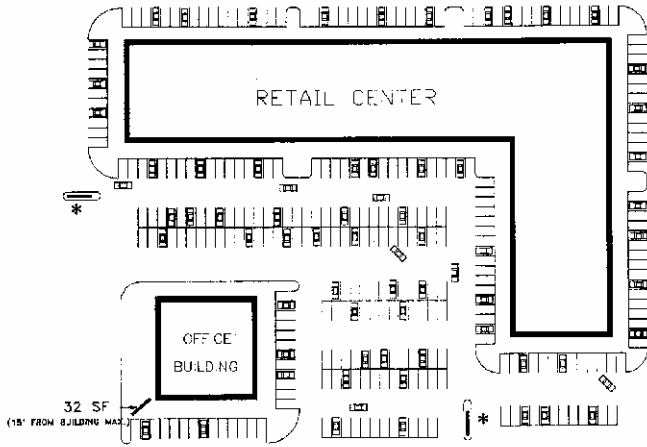
Sign Schedule Sign Type	No.	Size & Conditions
Or Industrial Building That is the Only Building in a Center Or Industrial Building Located in a Center (Where the Center Contains Other Establishments)	1	Wall sign per building frontage, except where the rear of the building would face onto or be adjacent to a residential zoning district boundary; 1 sq. ft. per lineal foot of applicable building frontage (not to exceed 100 sq. ft.); lighting permitted; allowed 30 sq. ft. if frontage is less than 30 feet; Or Projecting wall sign (in lieu of one wall sign), which may extend up to 5 ft. over a public right-of-way, but may not extend over a public street; max. area 25 sq. ft.; max. height 25 ft.; lighting permitted; Or Building Identification wall sign for buildings over 35 ft. in height; max area 100 sq. ft.; max. height 1 ft. below roofline; lighting permitted during hours when the primary building use is open to the public.
All Commercial Centers	1	Freestanding Identification Sign for rest homes, hospitals and multi-family housing complexes, with min. 25 ft. setback (or wall sign); max area 40 sq. ft.; max. height 6 ft. (25 feet for wall sign); lighting permitted.
Commercial Center 0-2.0 Acres	1	Freestanding sign with min. setback 10 ft.; max area 32 sq. ft.; max. height 6 ft.; lighting permitted.
	2	Freestanding Informational Sign with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Commercial Center Between 2 and 8.0 Acres	1	Freestanding Center Directory Sign with min. 25 ft. setback (or wall sign); max. area 20 sq. ft.; max. height 8 ft.; lighting permitted.
	2	Freestanding signs with min. 10 ft. setbacks, one per street frontage; max. area 60 sq. ft. per sign; max. height 12 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Commercial Center Between 8 and 18.0 Acres	1	Freestanding Center Directory Sign with min. 25 ft. setback (or wall sign); max. area 20 sq. ft.; max. height 8 ft.; lighting permitted.
	2	Freestanding signs with min. 25 ft. setbacks, one per street frontage; max. area 100 sq. ft. per sign; max. height 15 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Commercial Center Between 18 and 30.0 Acres	1	Freestanding Center Directory Sign with min. 25 ft. setback (or wall sign); max. area 20 sq. ft.; max. height 8 ft.; lighting permitted.
	1	Freestanding sign per street frontage, with min. 25 ft. setbacks, max. area 100 sq. ft. per sign; max. height 25 ft.; lighting permitted.
	3	Freestanding Informational Signs with min. 10 ft. setback (or wall sign); max. area 5 sq. ft.; max. height 6 ft.; lighting permitted.
Center Larger than 30 Acres		Same requirements as for Commercial Centers between 18.1 and 30.0 acres; Or Comprehensive Sign Program with maximum signage area of 150 sq. ft. approved pursuant to §3.24 (Sign Permits).

# FREESTANDING IDENTIFICATION SIGNAGE (OFFICE USE ONLY)



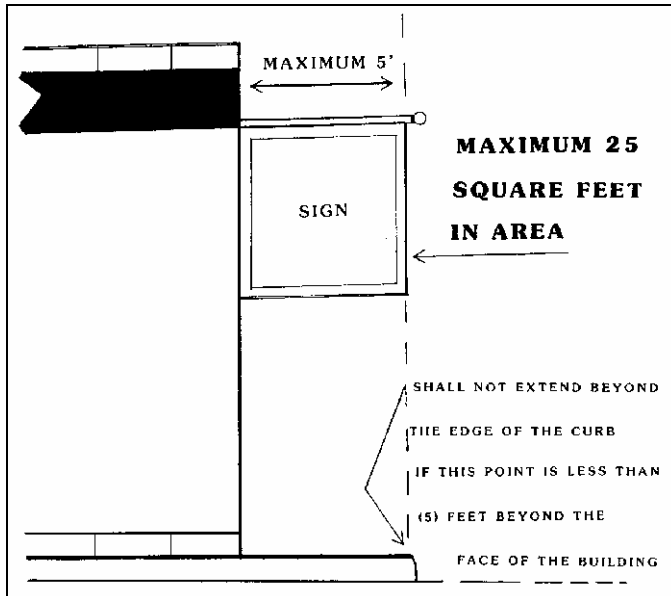
- SEE SIGN SCHEDULE FOR FURTHER INFORMATION
- \* TWO FREESTANDING CENTER SIGNS ARE PERMITTED ONLY WHERE APPLICABLE
- OTHER FREESTANDING SIGNAGE MAY BE PERMITTED AS DIRECTIONAL, TENANT PANEL SIGNAGE, ETC. SEE SIGN SCHEDULE

INDIVIDUAL OFFICE BUILDING FREESTANDING  
SIGNAGE AND COMMERCIAL  
CENTERS

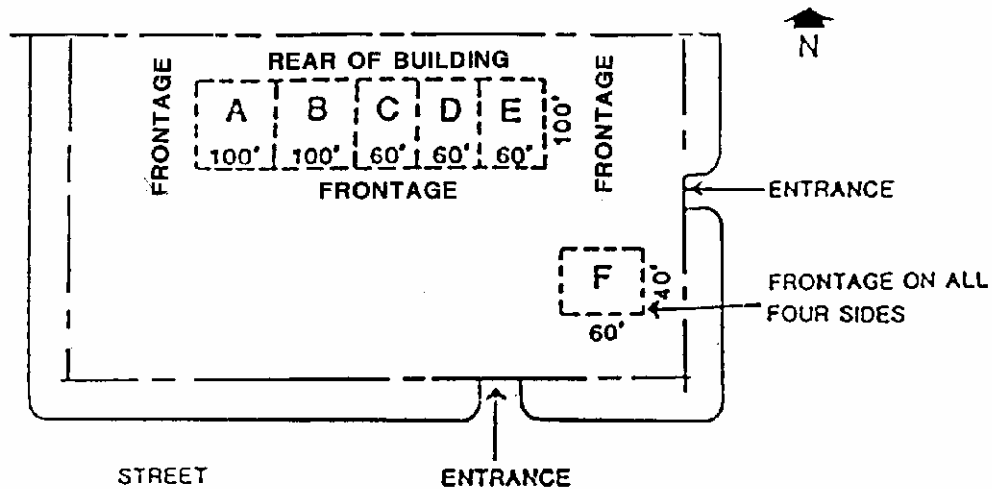


FREESTANDING PROFESSIONAL OFFICE BUILDINGS IN COMMERCIAL ZONING DISTRICTS ARE PERMITTED A FREESTANDING IDENTIFICATION SIGN IN ADDITION TO THAT SIGNAGE PERMITTED FOR THE CENTER. OTHER FREESTANDING SIGNAGE MAY BE PERMITTED. SEE SIGN SCHEDULE

\* COMMERCIAL CENTERS ARE PERMITTED 2 FREESTANDING IDENTIFICATION SIGNS WHERE APPLICABLE

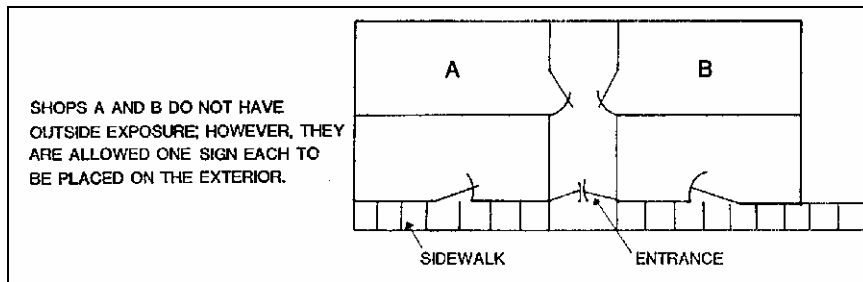


**SHOPPING CENTER - ASSUME TO BE THREE (3) ACRES IN SIZE  
A RESIDENTIAL DISTRICT BORDERS TO THE NORTH**



1. Store A - Two 100 sq. ft. wall signs
2. Store B - One 100 sq. ft. wall sign
3. Store C - One 60 sq. ft. wall sign
4. Store D - One 60 sq. ft. wall sign
5. Store E - One 60 sq. ft. wall sign placed on the South Building Frontage or one 100 sq. ft. wall sign on the East Frontage or both
6. Store F - Four wall signs, one per frontage, not to exceed the applicable building frontage in area
7. Center Sign - Two 60 sq. ft. signs, one per frontage (must meet applicable district height and setback requirements)
8. Directional Signs - Two 5 sq. ft. freestanding or wall signs
9. If there is a canopy, each store is allowed one 4 sq. ft. under canopy sign
10. Each store is allowed one 5 sq. ft. address sign

**NOTE:** One Projecting Sign could be substituted for one wall sign.



#### 6.17.4 Exceptions And Additional Criteria

- A. All signs permitted pursuant to §6.17.3 (Sign Schedule) in all Standard Zoning Districts, New Communities Sub-Districts, Clear Creek Sub-Districts, and PUD Zoning Districts shall meet the following additional requirements and/or are eligible for the following exceptions.
1. No sign attached to a building shall project above the top of the building.
  2. No flags or banners shall be displayed from poles or standards placed on the roof of a building or structure.
  3. The rear service entrance to any business establishment may have one sign no more than 2 sq. ft. in area stating only the name of the business and/or address.
  4. No freestanding sign shall be located closer than 10 feet to a front property line.
  5. Freestanding signs located within 100 feet of any residential zoned property shall not exceed 6 feet in height.
  6. All freestanding signs must meet the corner visibility requirements set forth in §6.8.1.E (Intersection and Driveway Visibility).
  7. When centers are developed or redeveloped, a Comprehensive Sign Program must be submitted and approved pursuant to §3.24 (Sign Permits), in compliance with the sign schedule.
  8. Billboard signs are allowed only in B-4 Districts. Each billboard shall not exceed 600 square feet and may not display more than two 300 square foot advertisements per side of the billboard. No billboard shall be erected:
    - a. So that its advertising faces the front or side lot lines of any residential zoning district; or
    - b. Within 100 feet of any front or side lot line of any residential zoning district; or
    - c. Within 300 feet of any other billboard; or
    - d. Within any front, side, or rear setback area.

Billboards shall be treated as the principal permitted use on the lot where it is located.

9. Signs along major arterial streets are permitted closer than 100 feet to the center line if the sign meets the applicable setback requirements.
10. Each residential subdivision may have:
  - a. One freestanding permanent subdivision identification sign; or
  - b. More than one permanent subdivision identification sign incorporated into entryways or fences. Such signs:
    - i. Shall include only the name of the subdivision or development;
    - ii. Shall be located at the principal street entrance to the subdivision;
    - iii. Shall not be located within 3 ft. of a sidewalk or curb;
    - iv. Shall have a maximum sign area of 40 sq. ft. each;
    - v. Shall have a maximum height of 6 ft.;
    - vi. Shall be constructed of masonry or other substantial materials;
    - vii. May be lighted;
    - viii. The sign may be placed on a wall or other background provided it is approved as a part of the development landscape plan;
    - ix. Shall be limited to two (2) signs per entrance (1 sign on each side).

Adequate provisions to maintain the sign must be provided by subdivision covenants or homeowner association.

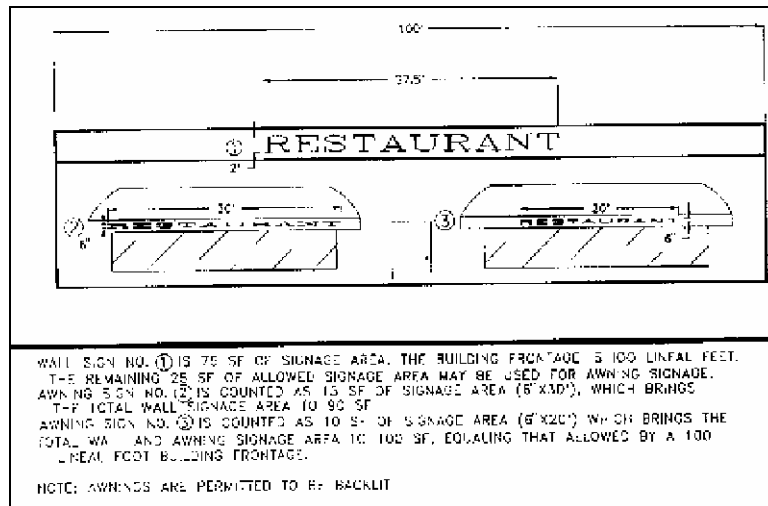
11. Signs may only be constructed in a public right-of-way with the approval of the Decision-Making Body and pursuant to the procedures for a revocable permit (§3.26). Any sign located within a public right-of-way shall not be located over any existing or future utilities, and may be removed by the City if necessary for reconstruction of a street, sidewalk, utilities, or to protect the health, safety and welfare of the citizens of the City, or pursuant to the terms of a revocable license agreement, with no liability to the City for replacement or repair.
12. Bench signs may be placed only at RTD bus stops, and no more than two bench signs may be placed at a single bus stop. Such bench signs shall be located:
  - a. In a public right-of-way, but not in the roadway;
  - b. As close as practicable to the place where passengers board the bus;
  - c. No closer than 3 feet from the curb or edge of pavement if no curb exists;
  - d. With no less than 3 feet of unobstructed public sidewalk remaining either in front of or behind the bench; and
  - e. So that they do not interfere with the safe and efficient passage of pedestrians or the use of traffic control devices or other street furniture.



13. Bench signs shall:
  - a. Weigh no less than 300 pounds,
  - b. Be constructed of substantial materials,
  - c. Be no longer than eight feet,
  - d. Be no higher than 42 inches,
  - e. Be no wider than 30 inches, and
  - f. Contain no fluorescent or reflective color or material.
  
14. Bench signs shall be maintained by the permittee in a safe and clean condition at all times, the area around the bench sign shall be kept clear of ice, snow, mud, trash and weeds at all times, and damaged or disfigured benches shall be repaired or replaced by the permittee immediately upon notification of such damage or disfigurement, or the bench will be removed.

In addition to any other remedies available to the City under this Code, the City shall have the right:

  - a. To remove any bench sign that violates this Code after giving 15 days written notice to the permittee, and
  - b. To remove any bench sign that creates a public safety hazard without any prior written notice, provided that the City provide notice of the removal to the permittee within 5 days after such removal.
  
15. Signs on awnings and canopies (including gasoline service station canopies) may be used as a portion of the wall signage area allowed in the Sign Schedule on any building containing business or professional uses. The area of the awning or canopy sign shall be included in the total signage area allowed for these types of wall signs and may not exceed the total square footage allowed for wall signage per building frontage. Awnings and canopies may be back-lit. Where gasoline service station canopies are involved, (1) the permitted sign area shall be measured by applying the sign schedule ratio to the length of the canopy frontage, rather than the primary structure frontage, and (2) no more than one wall sign, whether located on the primary structure or canopy, shall face in any given direction (i.e. there shall not be a wall sign and a canopy sign facing the same direction).



16. If more than 10% of any wall or roof surface of any non-residential building or any accessory structure to a non-residential use is painted, finished, or surfaced in a distinctive color scheme that includes some or all of the same colors, shapes, symbols, images, patterns, or textures used on any sign identifying an owner, tenant, or user of the building, and the Community Development Director determines that such wall or roof surfaces serve as a sign for an owner, tenant, or user of the building, such wall or roof area shall be counted as wall signage and shall be subject to the limitations on wall signage area in the Sign Schedule.

17. Signs may be placed on motorized vehicles provided that
- Each sign must be permanently painted or affixed to the vehicle;
  - The vehicle upon which the sign is affixed must be used for the daily operation of the business and not primarily to display signage;
  - No sign shall project more than 1 foot above the roofline of the vehicle to which it is attached.

When not in use, the vehicle must be parked on the business premises of the business that it advertises and not closer than 50 feet to the public right-of-way (or, if there is no parking on the business premises, it must be legally parked). No signage may be painted or affixed in any manner to trailers.

18. A super graphic or mural may be located on the same building face as a wall sign provided they are graphically incorporated into each other. No super graphic or wall mural shall occupy more than 10% of any wall or roof surface or any accessory structure.

19. Special signs, such as:
- Super graphics or murals occupying more than 10 percent of a wall or roof surface or an accessory building;
  - Architectural sculpture;

- c. Nostalgic or period signs (such as barber poles); and
- d. Special district and historic district signs; may be approved pursuant to §3.24 (Sign Permits).

#### **6.17.5 Informational Signs**

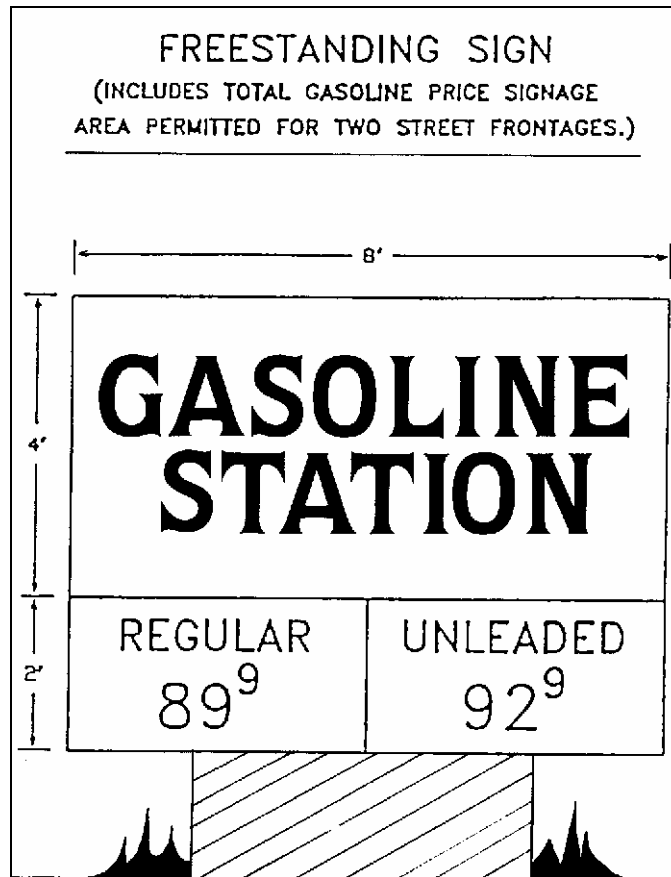
Signs that give specific instructions to the public using a building or facility are permitted provided that such signs:

- A. Have letters that do not exceed 4 inches in height;
- B. Do not exceed 5 sq. ft. in area;
- C. Display only instructional information pertaining to the use of the site (such as, "Enter", "Exit", "Warning", "Self Service", "Drive-Thru", "One-Way", etc.);
- D. Do not contain any word, symbol, or image identifying the owner, tenant, or user of the building or facility; and
- E. Do not exceed 6' in height, and are set back at least 10 feet.

#### **6.17.6 Changeable Copy Signs**

The following types of signs permitted under §6.17.3 (Sign Schedule) are permitted to have changeable copy under the following conditions. Signs not listed in this subsection must obtain a new sign permit before copy is changed.

- A. Up to 33% of any allowable building identification sign or center identification sign permitted by the Sign Schedule may have changeable copy including electronic signs.
- B. One changeable copy theater or movie marquee sign identifying current productions and movies may be incorporated into, or may be substituted for, one building identification sign and one center identification sign permitted by the Sign Schedule. The area of any marquee sign, including any changeable copy, shall be included in calculating the total area of the sign it is incorporated into or replaces, and shall not increase the permitted sign area of any such sign.
- C. Any portion of a church sign permitted by the Sign Schedule may have changeable copy.
- D. One changeable copy gasoline price sign listing only the types and prices of gasoline may be incorporated into each freestanding or wall sign permitted by the Sign Schedule (max. 1 per street frontage). The area of changeable copy shall not exceed 8 sq. ft. on any sign, and the area of changeable copy shall not be included in calculating the total area of a sign it is incorporated into.



- E. Two changeable copy menu board signs are permitted for each drive-through restaurant, in addition to those signs listed in the Sign Schedule. Menu board signs may be free standing or wall mounted, one sign shall be no more than 30 sq. ft. in area, while the second menu board shall be no more than 16 sq. ft. in area. All menu boards shall have a maximum height of 7 ft., and shall be readable only to traffic on the adjacent drive-through lane.
- F. One changeable copy menu board wall sign indicating daily menu changes is permitted for each non-drive-through restaurant. Menu board signs shall be no more than 3 sq. ft. in area and must be placed no more than 10 ft. from the front entrance of the restaurant.
- G. No changeable copy sign or portion of a sign may have changeable copy that is nailed, pinned, glued, taped, or otherwise attached by obviously temporary means.
- H. No changeable copy sign or portion of a sign may be constructed using face or screen materials such as expanded metal or other types of mesh; any type of corrugated plastic such as Filon, V3 or Styrene; or other types of materials that are commonly used for "portable" or "homemade" signs, unless the use of such materials for sign construction is permitted under any uniform code or ordinance adopted by the City.
- I. If any part of the changeable copy portion of a sign or the track type system or other method of attachment (a) is absent from the sign, or (b) deteriorates so that it is no longer consistent with the style or materials used in the permanent portion of the sign, or (c) is altered in such a way

that it no longer conforms to the approved plans and specifications, the sign shall be in violation of this Code.

#### **6.17.7 Temporary Signs**

The following types of temporary signs shall be allowed under the following conditions.

A. Temporary Residential Tract Sign. Each residential subdivision may have one freestanding temporary tract sign for each type of housing unit to be built (e.g. single-family, townhouse and condominiums), provided that each sign:

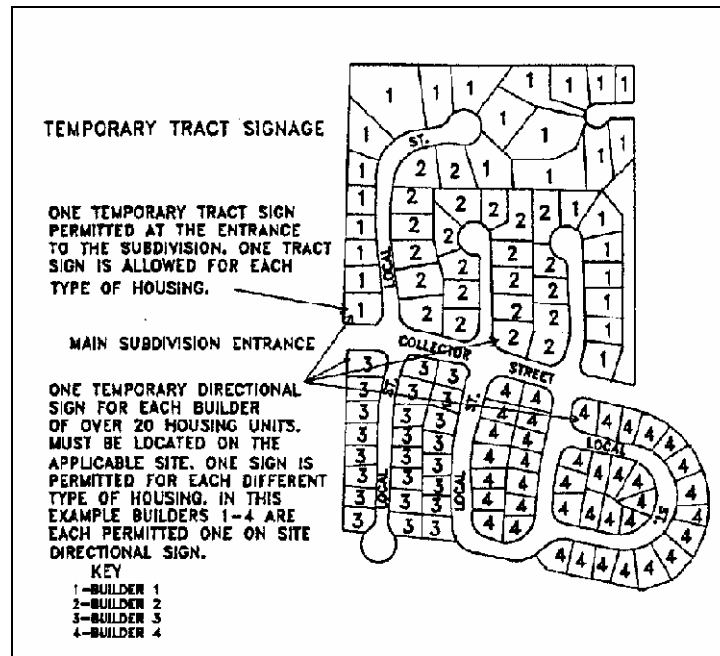
1. Is located at a major entrance to the subdivision;
2. Has a maximum area of no more than 100 sq. ft.;
3. Has a maximum height of 12 ft.;
4. Is located at least 25 feet from the public right-of-way; and
5. Is not lighted.

Such signs may remain in place as long as active initial sales of the type of housing shown on the sign is occurring.

B. Temporary Freestanding On-site Residential Informational Sign. Each builder of over 20 residential units in a subdivision or development may have one temporary Informational Sign for each type of residential unit that it is building in the subdivision or development (such as single-family, townhouse, or condominium), provided that such sign:

1. Only includes text directing visitors to the construction or sales site;
2. Has a maximum area of 15 sq. ft.;
3. Has a maximum height of 10 ft.; and
4. Is not lighted.

Such signs may remain in place as long as active initial sales of the type of housing shown on the sign is occurring.



C. Temporary Non-residential Tract Sign. Each subdivided lot in the P-1, B-1, B-2, B-3, B-4, I-1, I-2, and PUD-I Zoning Districts, and each tract or lot containing commercial or office uses in a PUD-BPR Zoning District, may have one freestanding temporary tract sign, provided that each sign:

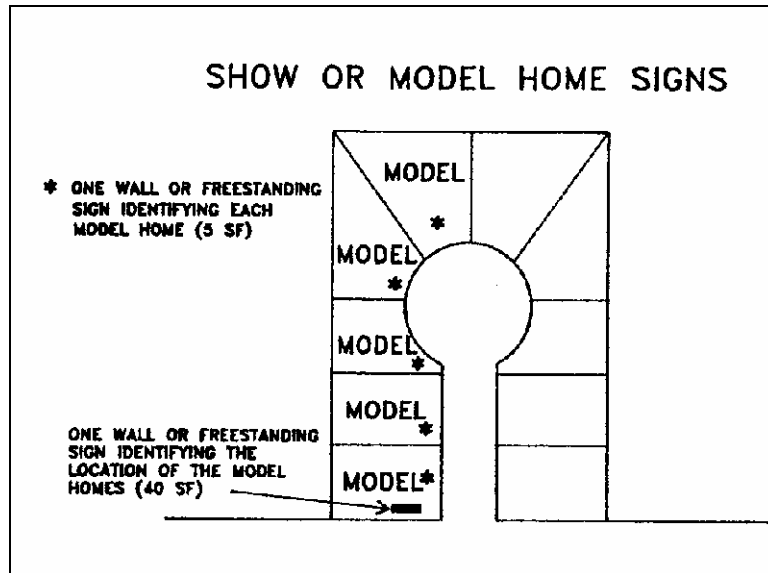
1. Has a maximum sign area of 32 sq. ft.;
2. Has a maximum height of 6 ft.;
3. Is located at least 25 feet from the public right-of-way; and
4. Is not lighted.

Such signs may remain in place until the first Certificate of Occupancy is issued for a building on the tract or lot.

D. Model Home Signs. Each builder within a subdivision or development may have the following types of model home signs under the following conditions, and each such sign may remain until the single-family model home is sold to a private buyer for use:

1. Each builder may have one freestanding or wall sign within each group of attached or detached single-family model homes that it constructs, provided that each such sign (a) is located on a model home lot, (b) has a maximum area of 40 sq. ft., (c) has a maximum height of 20 ft., (d) has a minimum setback of 10 ft., and (e) is not lighted.
2. Each attached or detached single-family model home may have one freestanding or wall sign, provided that each such sign (a) is located on the same lot as the model home, (b) has a maximum area of 5 sq. ft., (c) has a maximum height of 6 ft., and (d) is not lighted.

3. Each builder may have one freestanding or wall sign at the entrance to each multi-family building it constructs, provided that each such sign (a) is located on the same lot as the multi-family building, (b) has a maximum area of 5 sq. ft., (c) has a maximum height of 6 ft., and (d) is not lighted.
4. Each subdivision may have a temporary model home flag, provided that (a) each flagpole is located within 200 ft. of an entrance to the subdivision on a model home lot containing a model home or a temporary sales office, (b) no flag has a maximum area of more than 15 sq. ft., (c) the total area of all flags is no more than 90 sq. ft., and (d) no flag pole has a maximum height of more than 35 ft.



- E. FAA licensed hot air balloons and air-filled facsimiles, and other special non-lighted advertising devices that meet the definition of "sign" in Article 10 of this Code (Definitions), provided that:
  1. The device may not be used for more than two periods of not more than four consecutive days each (a total of eight days) in any calendar month; and
  2. The device must be tethered so that it does not flutter in the wind and must not be more than 10 feet above the highest point of the roof measured to the lowest point of the device; and
  3. All other City Code and ordinance requirements are met.

### 6.17.8 Portable Signs

One freestanding portable sign shall be allowed to each business in the P-1, B-1, B-2, B-3, B-4, I-1, I-2, CC-A, CC-C, CC-E, PUD-BP, and PUD-I Zoning Districts, and on lots or tracts containing commercial or office uses in the CC-D and PUD-BPR Zoning Districts, under the following conditions.

- A. No more than one sign per business shall be displayed outside of any single building at one time, regardless of the number of businesses in the building.
- B. Each such sign shall be located (a) within 10 ft. of the entrance of the business related to the sign (and in no case in front of another business unrelated to the sign), (b) so that a minimum 3 ft. unobstructed walkway is maintained at all times on any sidewalk where the sign is located, (c) so that both sides of the sign are not visible from the same direction, and (d) so that it does not obstruct traffic visibility or any official traffic control device. In the B-3 Zoning District, signs are only permitted on the public right-of-way only if the adjacent business or building is built to the front property line and has a zero setback. No portable sign may be installed on any public right-of-way or public property until a revocable permit to occupy such space has been obtained pursuant to §3.26.
- C. Each such sign shall be constructed (a) with a maximum area of 8 sq. ft. per side, (b) with a maximum height of 4 ft., (c) of plywood or other substantially rigid materials, and (d) without wheels or a frame allowing it to be pulled as a trailer.
- D. All changeable copy shall meet the requirements of §6.17.4 (Exceptions And Additional Criteria), all non-changeable copy shall be painted or affixed by other means to be a permanent part of the sign, and no part of the sign shall include fluorescent or day-glo colors.
- E. All signs shall be maintained to avoid (a) faded or discolored backgrounds or copy, (b) broken, loose, or ill-fitting pieces, and (c) jagged edges or other conditions that could be a hazard to pedestrians. The City shall have the right to remove any portable sign at any time that it is not maintained or constitutes a hazard to public health or safety.
- F. If this §6.17.8 (Portable Signs) is repealed or amended, no portable signs permitted above shall be allowed to continue as a nonconforming use, and all portable signs not meeting the requirements of this Code after such repeal or amendment shall be removed immediately.

#### **6.17.9 Prohibited Signs**

The following types of signs are prohibited in all Standard Zoning Districts, New Communities Subdistricts, Clear Creek Sub-Districts, and PUD Zone Districts.

- A. Any sign which is not allowed under §6.17.2 (Signs Allowed Without a Permit), 6.17.3 (Sign Schedule), 6.17.4 (Exceptions And Additional Criteria), 6.17.5 (Temporary Signs), or 6.17.6 (Portable Signs) of this Code.
- B. Any sign which is misleading or fraudulent.
- C. Any sign erected on or over any public right-of-way or public property, unless such sign is explicitly allowed by this Code and a revocable permit for the sign has been obtained pursuant to §3.26.
- D. Any moving sign, other than one explicitly permitted by this Code, which (1) has any part revolving at more than 8 revolutions per minute by any

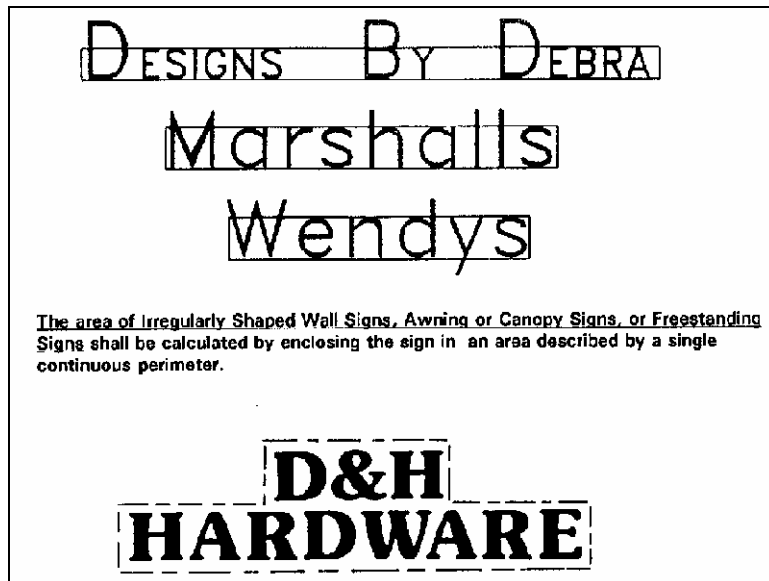


means, including fluttering or rotating, or (2) has any part set in motion by movement of the atmosphere.

- E. Any sign displaying flashing or intermittent lights, or lights of varying intensity, except those portions of a sign indicating time and temperature or electronic changeable copy signs with intermittent lights due to the change of copy.
- F. Any sign with direct or indirect lighting that causes direct glare into or upon any lot or tract with a residential use that is adjacent to the lot or tract where the sign is located.
- G. Any sign that is an imitation of an official government protective or warning sign, including signs using the words "Stop" or "Danger" to imply a need or requirement to stop or a caution for the existence of danger, and including signs that are copies of, or which are likely to be confused with, any official government protective or warning sign.
- H. Any sign that obstructs any window, door, fire escape, stairway, ladder, or opening intended to provide light, air, ingress, or egress for any building as required by law.
- I. Any sign not permanently affixed to a permanent, rigid structure, unless explicitly authorized by this Code.
- J. Any sign that violates any provision of any law of the State of Colorado relative to outside advertising.
- K. Any temporary signs attached to utility poles or stakes, unless explicitly authorized by this Code.
- L. Any off-site sign (billboard sign) not explicitly permitted by §6.17.4.A (Exceptions and Additional Criteria).

#### **6.17.10 Sign Measurement, Removal, and Alteration**

- A. Sign Measurement.
  - 1. The area of any sign contained within a can, cabinet, or frame shall be determined by calculating the total area of the sign including the can, cabinet or frame.
  - 2. The area of any sign displaying individual letters on a background (facade, wall, divisional wall, awning or canopy) shall be measured by encompassing all the letters in a rectangle or square. Except for awning, canopy, and permanent subdivision identification signs, the allowed signage shall not exceed 50% of the background area. The background of permanent residential subdivision signs on a wall or other background shall be approved by the Community Development Director. Three capital letters and three lower case extensions may be exempted from being included in the area of measurement. Capital letters and lower case extensions may not exceed twice the height of lower case letters.



3. Architectural treatments that aid in integrating the signage with the building design are encouraged, but any such treatment shall not be created for the purpose of visually enlarging the size of the sign.
4. Freestanding, projecting and billboard signs shall be measured by the area of one face of the sign.
5. The height of any sign shall be determined by the distance between the topmost portion of the sign structure and the ground elevation at the base of the sign.

B. Sign Removal or Repair. In addition to any other remedies available under this Code, the City may issue a written notice to owners of the following types of signs or supporting structures, or if the owner is unknown, then to the owners of the property on which the following types of signs or supporting structures are located, of the need to remove or repair them:

1. Any sign that does not meet the requirements set forth in this Code, and does not qualify as a non-conforming use or structure.
2. Any sign for which a permanent or temporary permit has expired.
3. Any sign that is in disrepair or unsafe and deemed hazardous by the City.
4. Any sign identifying a business, professional or industrial establishment that has moved from the premise.
5. Signs or supporting structures that are the subject of a written notice shall be removed or repaired within 15 days after the date on which the City issues the notice. If the sign is not repaired or removed within that time, the City may remove the sign from the

premises on which it is located and store the sign. Costs incurred by the City for removal and storage and/or disposition of the sign will be assessed to the owner of the sign, supporting structure, or property to which the notice was sent.

C. Altering or Moving Existing Signs.

1. Any alteration to an existing sign, except for alterations to changeable copy allowed pursuant to sec. 6.17.4 (Exceptions and Additional Criteria), shall require a new permit pursuant to §3.24 (Sign Permits) before the sign may be altered. Alterations shall include, without limitation:
  - a. Changing the copy of the sign except as allowed pursuant to § 6.17.4 (Exceptions and Additional Criteria);
  - b. Changing the size of the sign;
  - c. Changing the shape of the sign;
  - d. Changing the material of which the sign is constructed;
  - e. Changing or adding lighting to the sign;
  - f. Changing the location of the sign; or
  - g. Changing the height of the sign.
2. Existing conforming or legal nonconforming signs may be altered in any way that does not change the size, height, background shape, or location of the sign without bringing the entire sign into conformance, provided that the cost of the alteration is less than 50% of the sign's replacement cost.
3. Signs may be removed for maintenance only and replaced on the same support, without obtaining a new permit.

## **6.18 CONSTRUCTION MITIGATION STANDARDS**

### **6.18.1 Limitations on Site Disturbance**

Any site disturbances that remove existing vegetation from a property and leave large areas of soil exposed for more than 60 days shall not be permitted unless an erosion control and re-vegetation plan has been previously approved by the City Engineer. Cuts, fills, grading, excavation, vegetation removal, and building construction shall be confined to the footprint of the proposed building, plus a working area of 30 feet around each such footprint, plus any site disturbance necessary for installation and maintenance of utilities, access ways, trails, irrigation ditches, and fences, and for landscaping, agriculture, and similar activities. All erosion control plans shall comply with applicable standards adopted by the Urban Drainage and Flood Control District. On sites where more than one acre of land is disturbed, a permit is required from the Colorado Department of Public Health and Environment Water Quality Control Division prior to start of construction.

### **6.18.2 Equipment Access**

Mud, dirt or other debris deposited on the public or common roadway at construction access points shall be removed daily to avoid compaction and